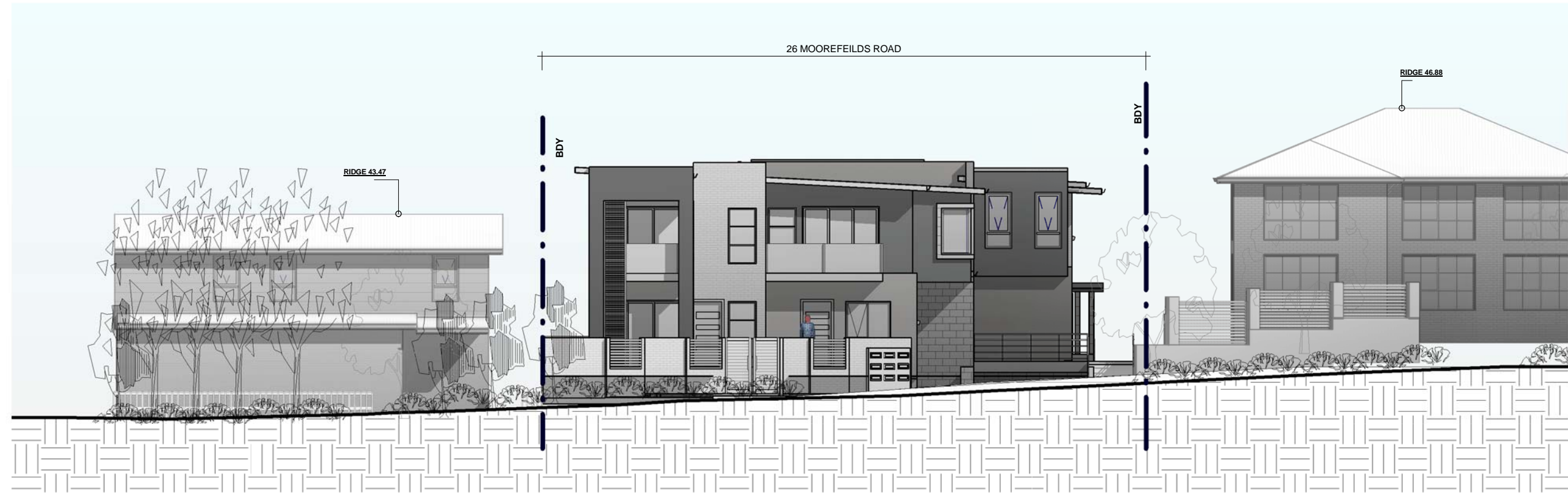


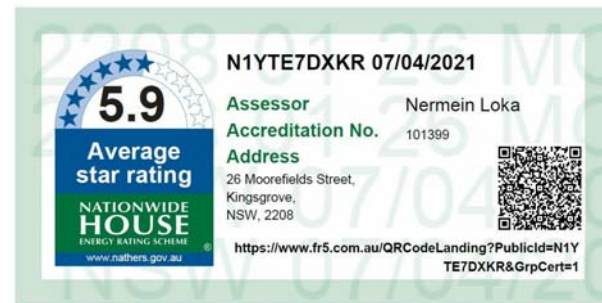
PROPOSED 8 IN-FILL AFFORDABLE TOWNHOUSES
 26 MOOREFIELD KINGSGROOVE
 UNDER AFFORDABLE RENTAL HOUSING SEPP 2009



1 **STREETSCAPE**
 DA100 1 : 150

DRAWING LIST

DRAWING NUMBER	DRAWING NAME	CURRENT REVISION
DA100	COVER PAGE	K
DA101	LOCATION MAP	K
DA102	SITE ANALYSIS AND STREETSCAPE	K
DA200	SITE/ROOF PLAN	K
DA201	BASEMENT PLAN	K
DA202	SITE/GROUND FLOOR PLAN	K
DA203	FIRST FLOOR PLAN	K
DA300	ELEVATIONS AND MATERIAL SCHEDULE	K
DA301	ELEVATIONS & SECTION	K
DA302	SECTIONS	K
DA400	BASIX COMMITMENTS	K
DA401	GROSS FLOOR AREA, DEEP SOIL & LANDSCAPING AREA CALCULATION	K
DA500	SHADOW DIAGRAMS - 01	K
DA501	SHADOW DIAGRAMS - 02	K
DA600	COLOUR SCHEDULE	K



MORFOSIS ARCHITECTS
 PTY LTD
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GENERAL NOTES

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J	AMMENDMENTS	24/08/2021
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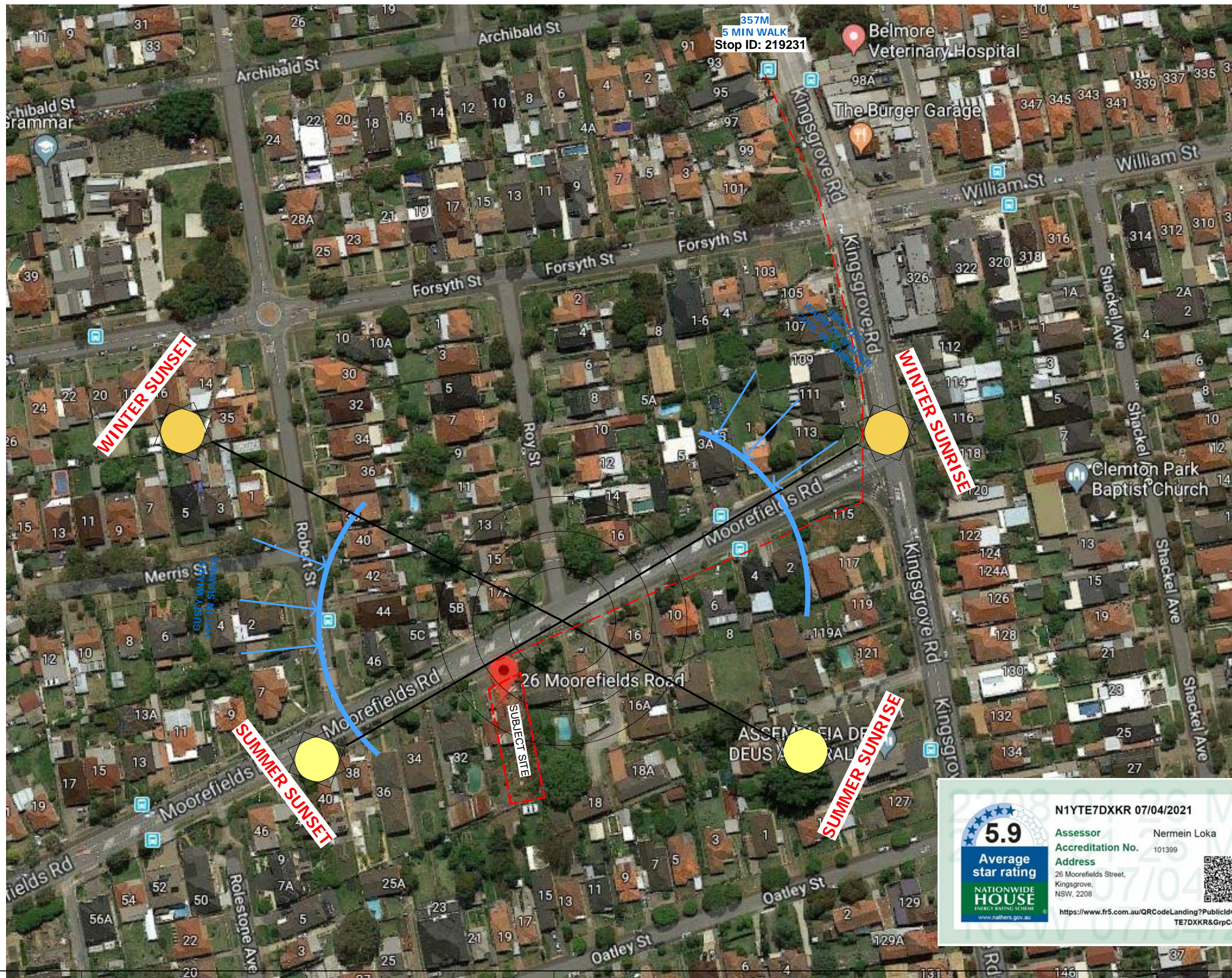
ISSUE AMENDMENTS DATE

ISSUE CLIENT

K

DRAWING NUMBER:
 DA100
 DRAWING TITLE:
 COVER PAGE
 SCALE
 As indicated

PROJECT
 26 MOORFIELDS STREET
 KINGSGROVE



5.9
Average star rating
NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

N1YTE7DXKR 07/04/2021
Assessor: Nermein Loka
Accreditation No. 101399
Address: 26 Moorefields Street, Kingsgrove, NSW, 2208
<https://www.fr5.com.au/QRCodeLanding?PublicId=N1YTE7DXKR&GrpCert=1>

ABSA
Australian Building Sustainability Association

HERS Assessments completed within the accreditation period are part of the ABSA quality audit system.

Accreditation Period: 01/04/2021-31/03/2022
Assessor Name: NERMEIN LOKA
Assessor Number: 101399
Assessor Signature: _____

This Accredited Assessor is qualified to use NATHERS Accredited Software and has agreed to follow the ABSA Code of Practice.

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ABN 44 609 593 473
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GENERAL NOTES

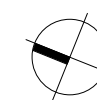
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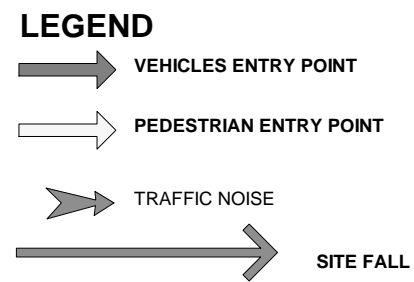
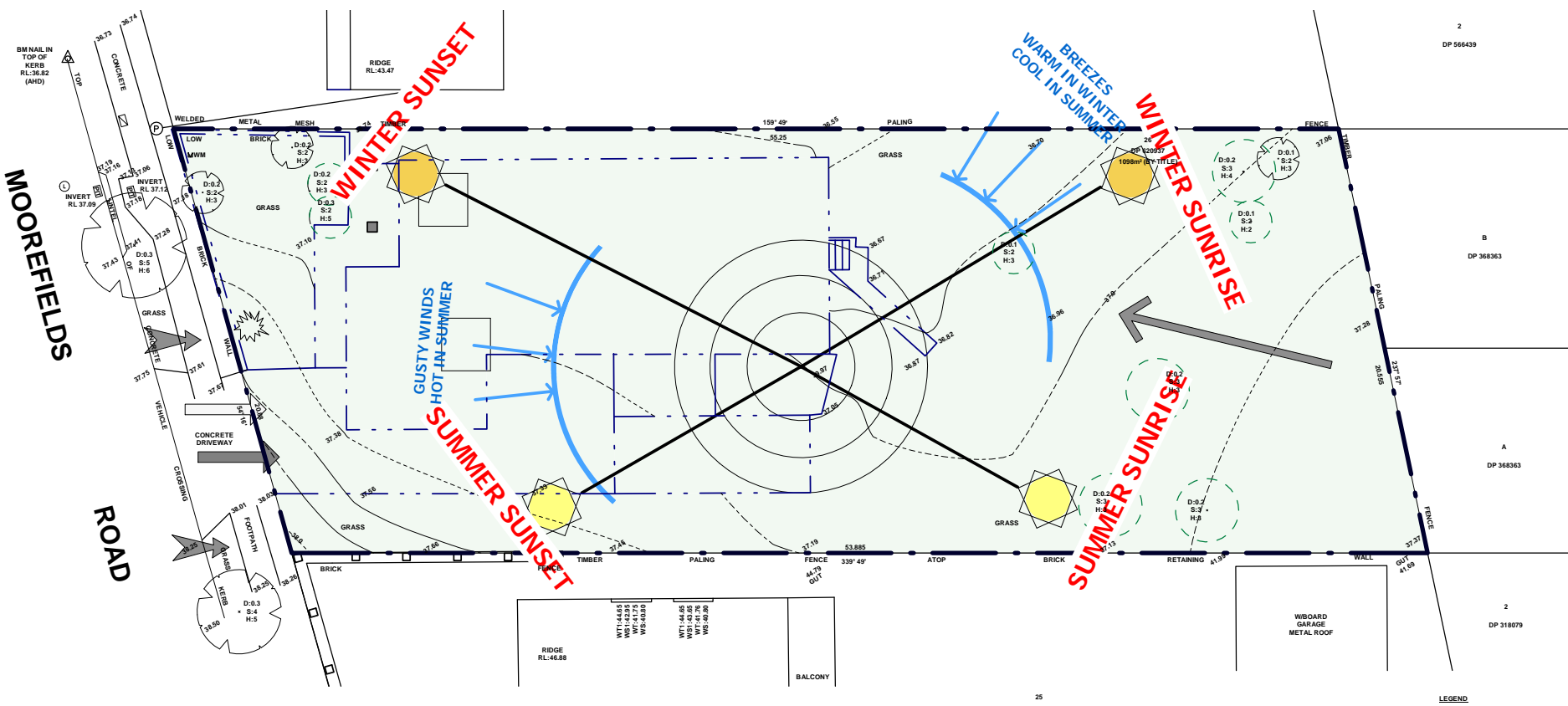
ISSUE CLIENT

K



DRAWING NUMBER:
DA101
DRAWING TITLE:
LOCATION MAP
SCALE
As indicated

PROJECT
26 MOORFIELDS STREET
KINGSGROVE



5.9 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
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 Assessor Name: NERMEIN LOKA
 Assessor Number: 101399
 Assessor Signature: _____

1 SITE ANALYSIS
 DA102 1 : 300



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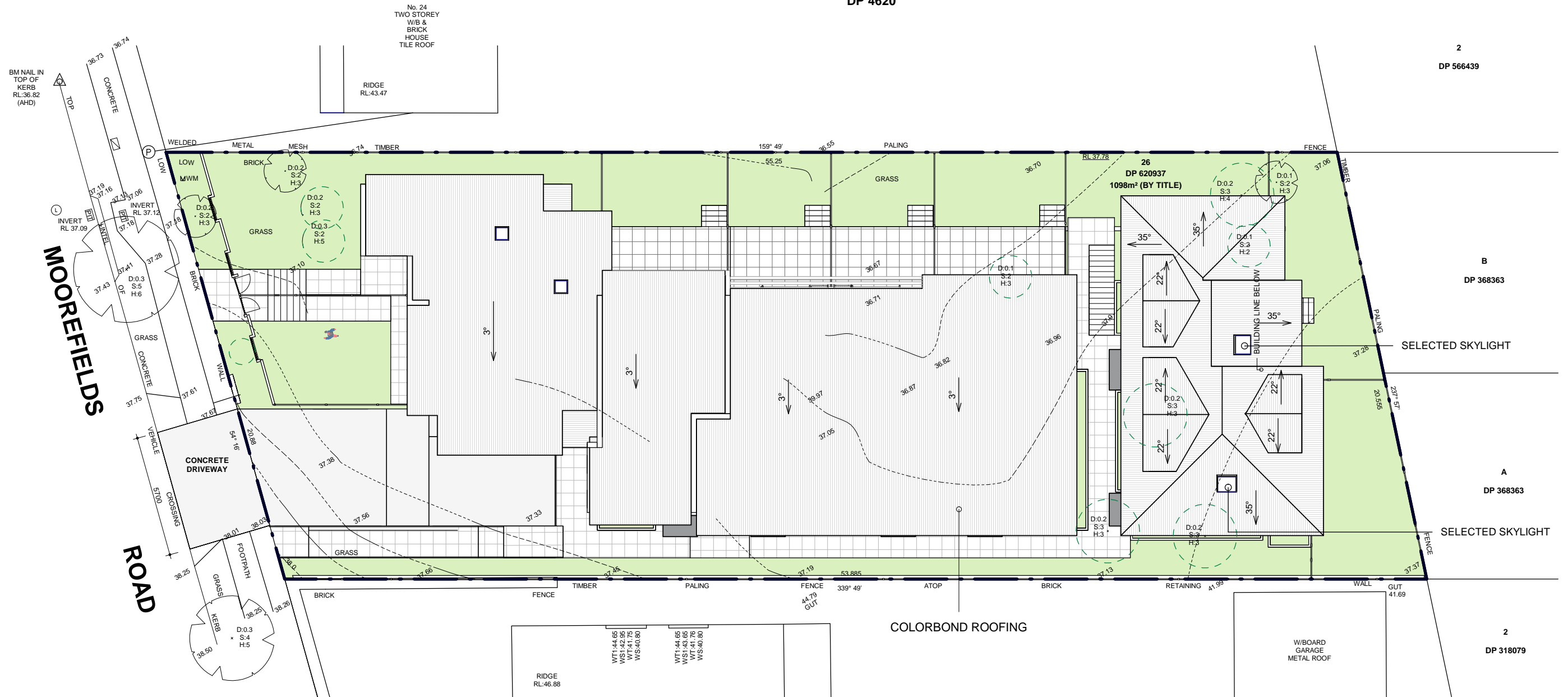
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D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMMENDMENTS	1/11/2017

ISSUE: **K**
 CLIENT: _____

DRAWING NUMBER:
 DA102
 DRAWING TITLE:
 SITE ANALYSIS AND
 STREETScape
 SCALE:
 As indicated

PROJECT:
 26 MOORFIELDS STREET
 KINGSGROVE



5.9
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
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Accreditation Period: 01/04/2021-31/03/2022
Assessor Name: NERMEYN LOKA
Assessor Number: 101399
Assessor Signature: [Signature]

LEGEND

- WATER METER
- BENCH MARK
- COMMUNICATION PIT
- POWER POLE
- SEWER INSPECTION PIT
- ELECTRICITY POWER LINE
- WT: WINDOWS TOP
- WS: WINDOWS SILL
- GUT: TOP OF GUTTER
- S:3 (SPREAD)
- D:0.3 (DIAMETER)
- H:10 (HEIGHT)
- SHRUB

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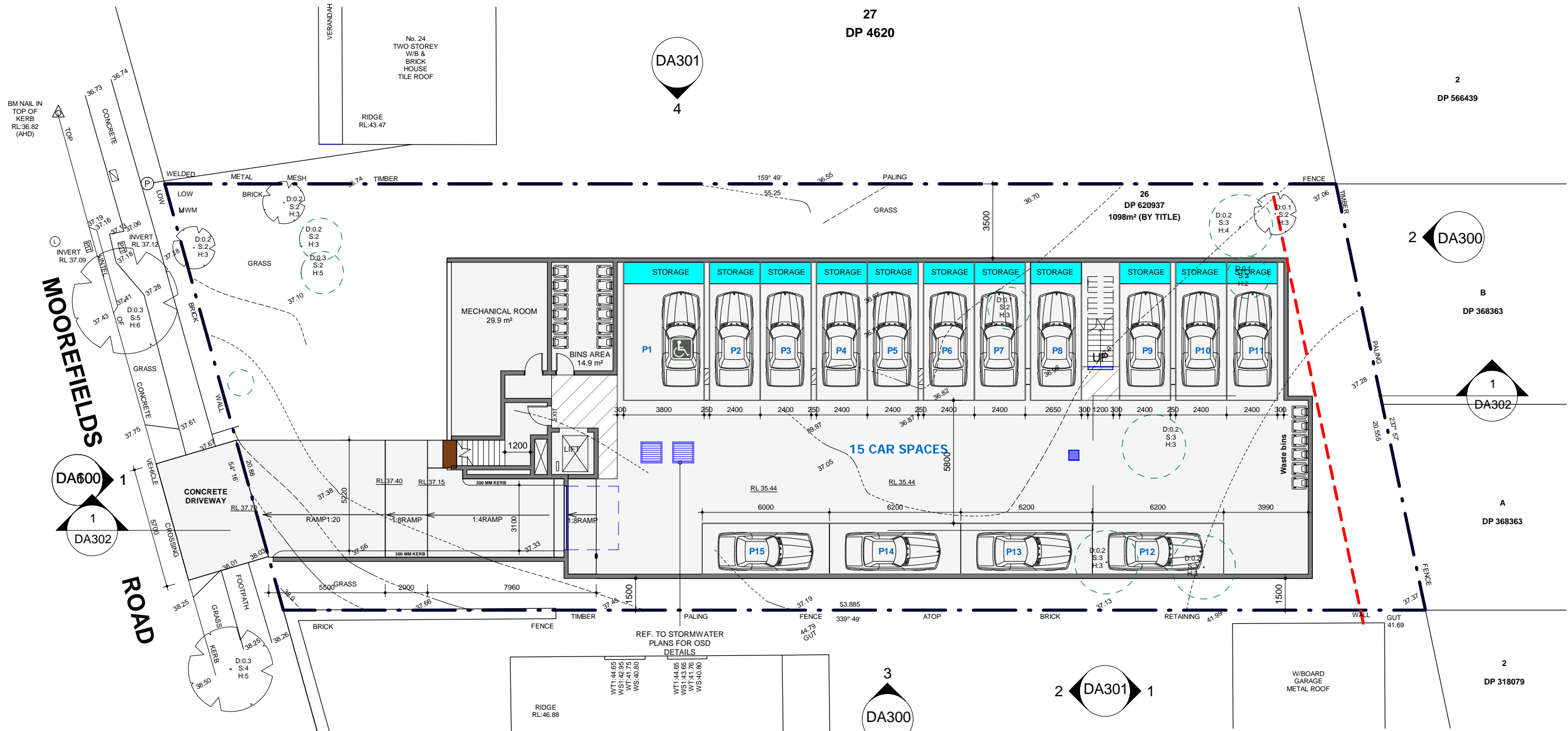
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D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMMENDMENTS	1/11/2017

ISSUE: **K**
CLIENT: [Symbol]

DRAWING NUMBER: DA200
DRAWING TITLE: SITE/ROOF PLAN
SCALE: As indicated

PROJECT: 26 MOORFIELDS STREET KINGSGROVE



5.9
Average star rating
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Assessor Nermein Loka
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Accreditation Period: 01/04/2021-31/03/2022
Assessor Name: NERMEIN LOKA
Assessor Number: 101399
Assessor Signature: _____

- LEGEND**
- WATER METER
 - BENCH MARK
 - COMMUNICATION PIT
 - POWER POLE
 - SEWER INSPECTION PIT
 - ELECTRICITY POWER LINE
 - WT : WINDOWS TOP
 - WS : WINDOWS SILL
 - GUT : TOP OF GUTTER
 - S:3 (SPREAD)
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 - H:10 (HEIGHT)
 - SHRUB

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C	FACADES	15/11/2017
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ISSUE **K**

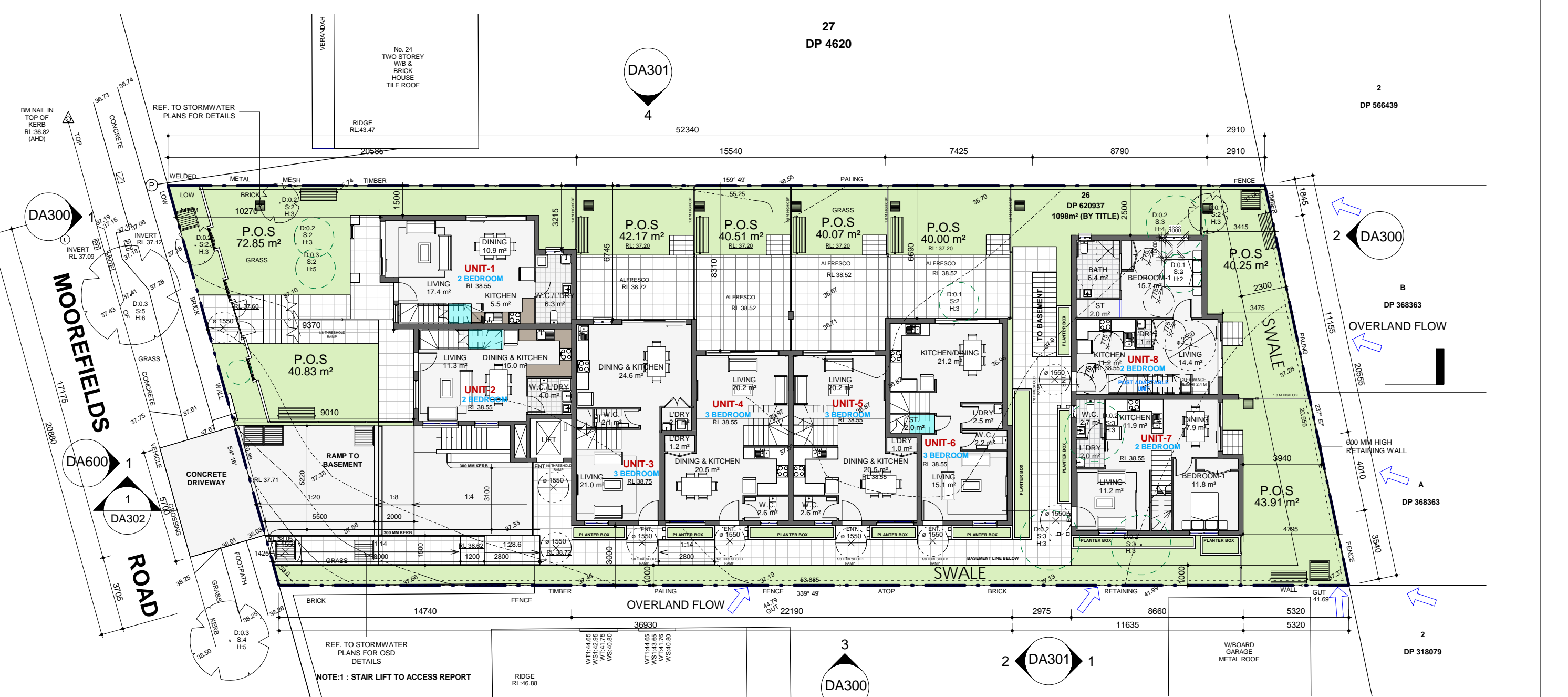
CLIENT

DRAWING NUMBER:
DA201

DRAWING TITLE:
BASEMENT PLAN

SCALE
As indicated

PROJECT
**26 MOORFIELDS STREET
KINGSGROVE**



5.9
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
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N1YTE7DXKR 07/04/2021
Assessor: Nermein Loka
Accreditation No. 101399
Address: 26 Moorfields Street, Kingsgrove, NSW, 2208
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Assessor Number: 101399

- LEGEND**
- WATER METER
 - BENCH MARK
 - COMMUNICATION PIT
 - POWER POLE
 - SEWER INSPECTION PIT
 - ELECTRICITY POWER LINE
 - WT : WINDOWS TOP
 - WS : WINDOWS SILL
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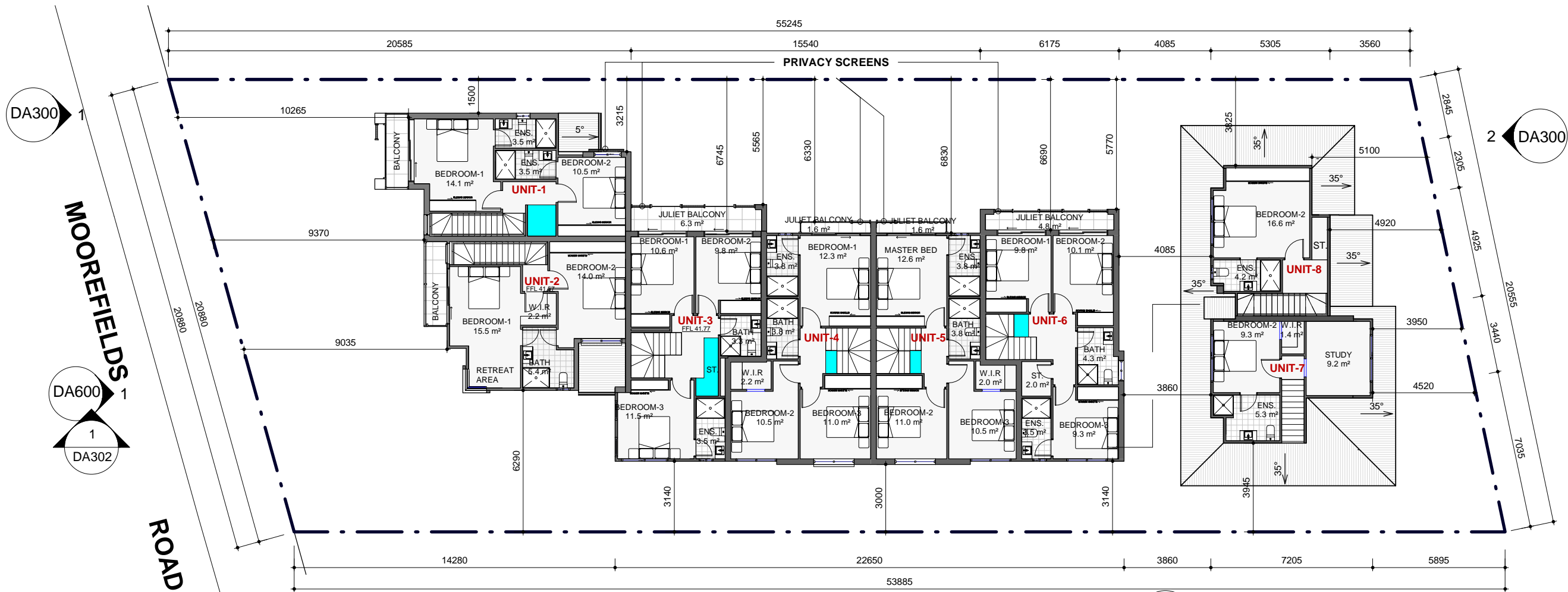
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C	FACADES	15/11/2017
B	AMMENDMENTS	1/11/2017

ISSUE: **K**

CLIENT:

DRAWING NUMBER: DA202
DRAWING TITLE: SITE/GROUND FLOOR PLAN
SCALE: As indicated

PROJECT: 26 MOORFIELDS STREET KINGSGROVE

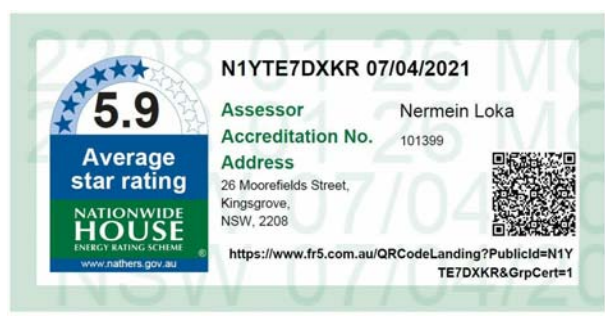


1 **FIRST FLOOR PLAN**
DA203 1 : 200

2 DA301 1

LEGEND

- SMOKE DETECTOR
- DENOTES MECHANICAL VENTILATION
- CLOTHES LINE
- HOT WATER SYSTEM
- TOP OF THE WALL LEVEL
- PRIVATE OPEN SPACE
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- 1.8 M HIGH COLORBOND FENCE



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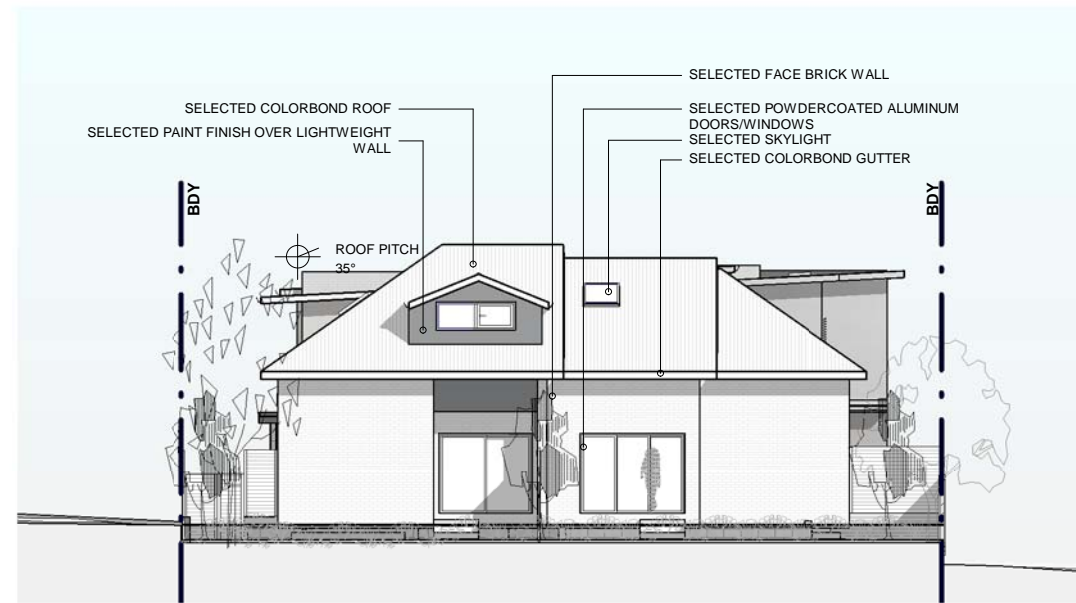
ISSUE CLIENT
K

DRAWING NUMBER:
DA203
DRAWING TITLE:
FIRST FLOOR PLAN
SCALE
As indicated

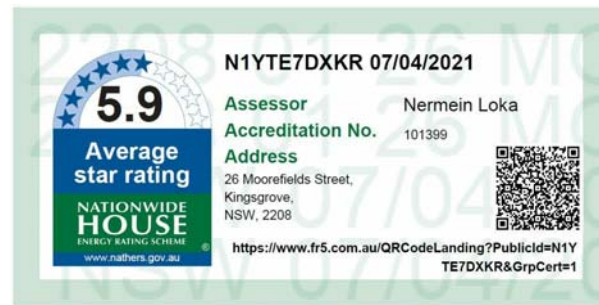
PROJECT
26 MOORFIELDS STREET
KINGSGROVE



1 FRONT ELEVATION- NORTH
DA300 1 : 200

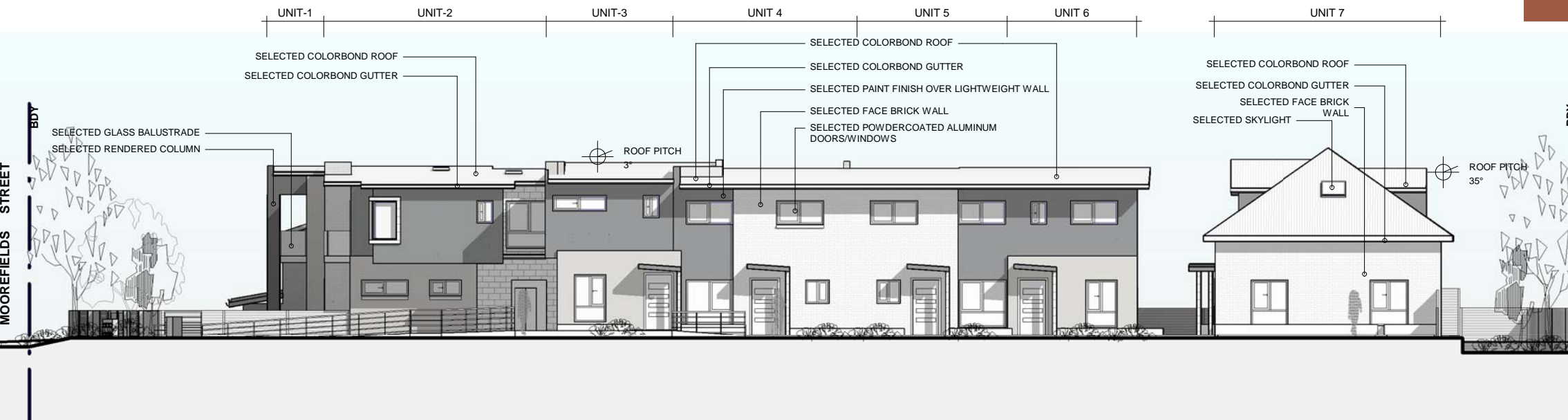


2 REAR ELEVATION-SOUTH
DA300 1 : 200



COLOUR AND MATERIAL SCHEDULE

- COLORBOND ROOF, GUTTER & DOWNPIPE WINDSPRAY OR SIMILAR
- ALUMINIUM WINDOWS AND DOORS SURFMIST OR SIMILAR
- FASCIA SHALE GREY OR SIMILAR
- MAIN CONCRETE BLOCK PEARL OR SIMILAR
- FACE BRICK NUVO MIST OR SIMILAR
- PAINT FINISH RENDERED WALL SHALE GREY OR SIMILAR
- FRONT POTICO PAINT FINISH RENDERED WALL BASALT OR SIMILAR
- SOLID TIMBER ENTRY DOOR DARK OAK OR SIMILAR
- TIMBER LOUVER SCREEN
- ALUMINIUM LOUVER SCREEN COLORBOND DUNE OR SIMILAR
- PAINT FINISH RENDERED WALL HEADLAND OR SIMILAR



3 SIDE ELEVATION- EAST
DA300 1 : 200

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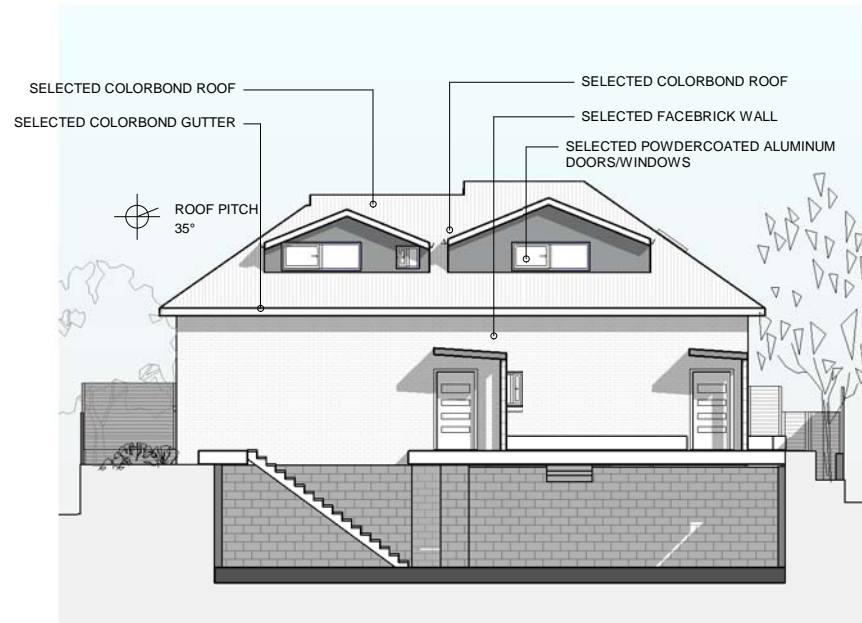
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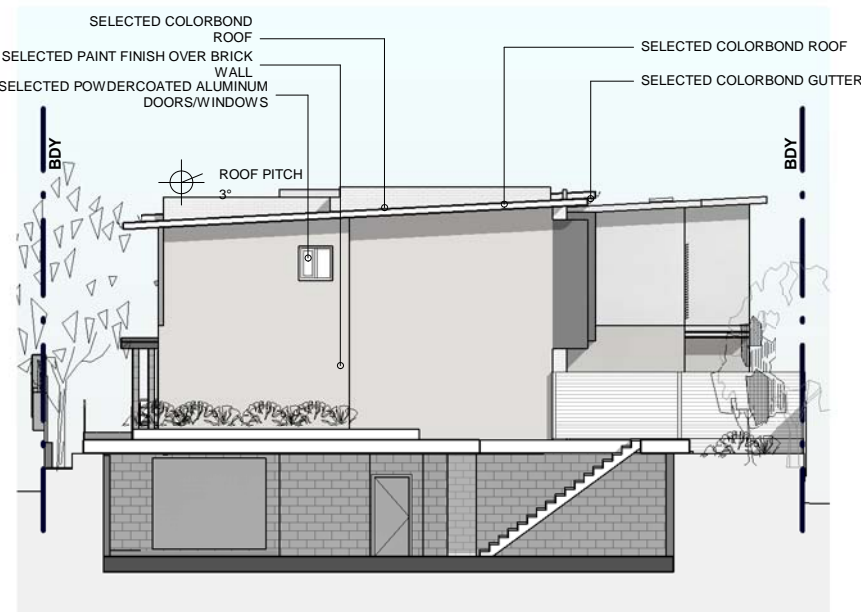
ISSUE CLIENT
K

DRAWING NUMBER:
DA300
DRAWING TITLE:
ELEVATIONS AND MATERIAL SCHEDULE
SCALE:
As indicated

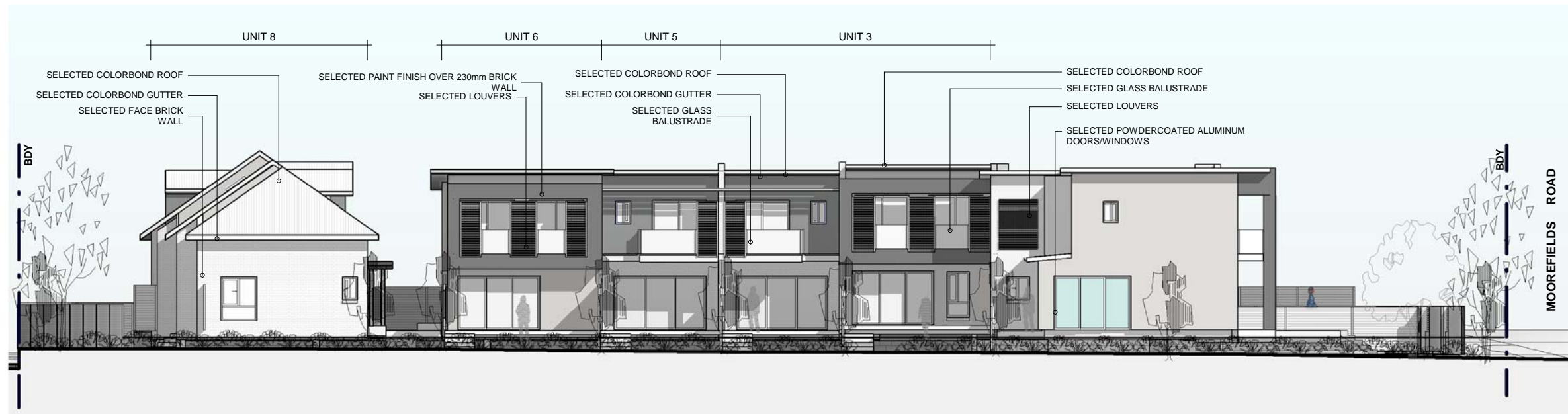
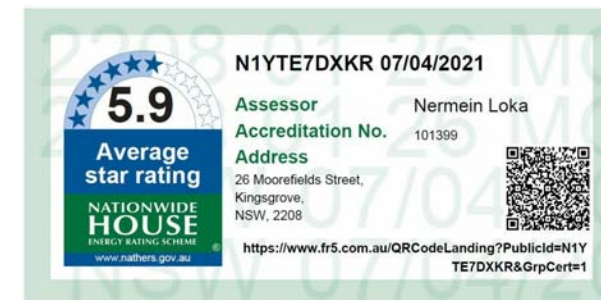
PROJECT
26 MOORFIELDS STREET
KINGSGROVE



1 INTERNAL ELEVATION- NORTH
DA301 1 : 200



2 INTERNAL ELEVATION- SOUTH
DA301 1 : 200



4 SIDE ELEVATION- WEST
DA301 1 : 200

MORFOSIS ARCHITECTS
PTY LTD
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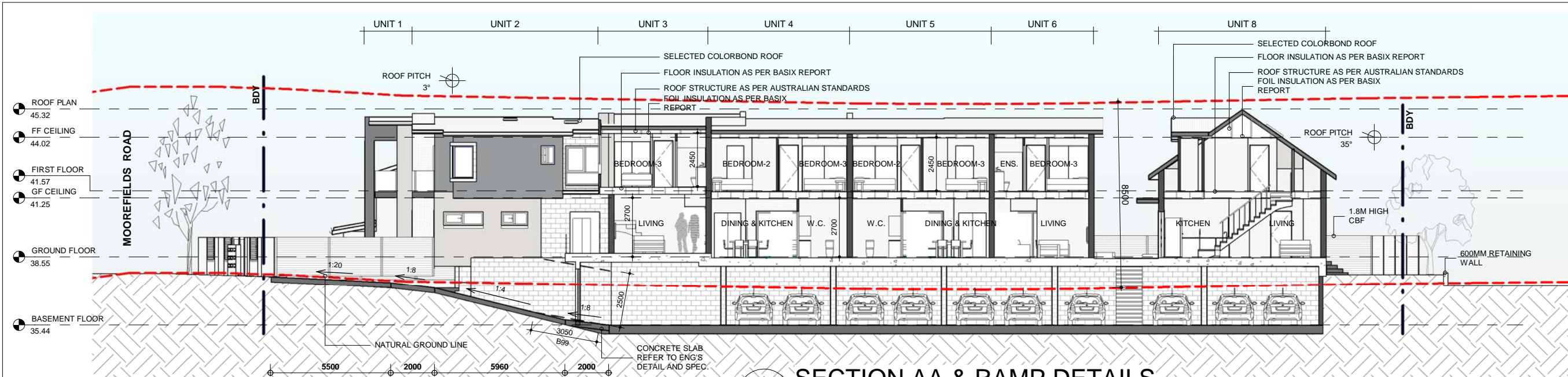
ISSUE CLIENT

K



DRAWING NUMBER:
DA301
DRAWING TITLE:
ELEVATIONS & SECTION
SCALE
As indicated

PROJECT
26 MOORFIELDS STREET
KINGSGROVE

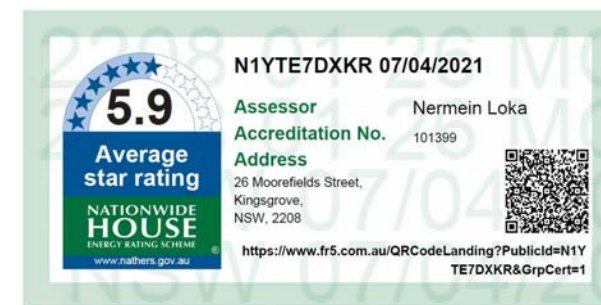


1 SECTION AA & RAMP DETAILS
DA302 1 : 200

DOOR SCHEDULE				
Comments	Mark	Height	Width	Head Height
U1	D01	2100	920	2100
U1	D02	2100	2700	2100
U1	D04	2100	3000	2100
U1	D05	2100	2700	2100
U1	D07	2100	820	2100
U1	D08	2100	820	2100
U1: 6				
U2	D01	2100	920	2100
U2	D02	2100	820	2100
U2	D03	2100	2400	2100
U2	D04	2100	820	2100
U2	D05	2100	720	2100
U2	D06	2100	720	2100
U2	D07	2100	820	2100
U2: 7				
U3	D01	2100	1000	2100
U3	D02	2100	720	2100
U3	D03	2100	3200	2100
U3	D04	2100	2100	2100
U3	D05	2100	2100	2100
U3	D06	2100	820	2100
U3	D07	2100	820	2100
U3	D08	2100	720	2100
U3	D09	2100	820	2100
U3	D10	2100	720	2100
U3: 10				
U4	D01	2100	1000	2100
U4	D02	2100	3600	2100

DOOR SCHEDULE				
Comments	Mark	Height	Width	Head Height
U4	D03	2100	720	2100
U4	D04	2100	2100	2100
U4	D06	2100	820	2100
U4: 5				
U5	D01	2100	1000	2100
U5	D05	2100	3600	2100
U5	D08	2100	720	2100
U5	D09	2100	820	2100
U5	D10	2100	720	2100
U5	D11	2100	2100	2100
U5	D27	2100	720	2100
U5: 8				
U6	D01	2100	1000	2100
U6	D03	2100	820	2100
U6	D04	2100	720	2100
U6	D05	2100	3200	2100
U6	D06	2100	820	2100
U6	D07	2100	2100	2100
U6	D08	2100	820	2100
U6	D09	2100	2100	2100
U6	D10	2100	720	2100
U6	D11	2100	820	2100
U6	D12	2100	720	2100
U6	D13	2100	620	2100
U6: 12				
U7	D01	2100	1000	2100

DOOR SCHEDULE				
Comments	Mark	Height	Width	Head Height
U7	D02	2100	820	2100
U7	D03	2100	720	2100
U7	D04	2100	820	2100
U7	D05	2100	2400	2100
U7	D06	2100	820	2100
U7	D07	2100	720	2100
U7: 7				
U8	D01	2100	1000	2100
U8	D02	2100	920	2100
U8	D03	2100	920	2100
U8	D04	2100	2700	2100
U8	D05	2100	820	2100
U8	D06	2100	720	2100
U8: 6				



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ISSUE CLIENT

K

DRAWING NUMBER:
DA302

DRAWING TITLE:
SECTIONS

SCALE
As indicated

PROJECT
26 MOORFIELDS STREET
KINGSGROVE

26 MOOREFIELDS STREET KINGSGROVE

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

Fixtures			
3 Star Shower Heads	Yes (> 4.5 but <= 6 L/min)		
5 Star Kitchen / Basin Taps	Yes	5 Star Toilet	Yes
Alternative Water	No		
Individual water tank	No		
All Toilets	NO	Laundry W/M Cold Tap	NO
One Outdoor Tap	NO		

ENERGY COMMITMENTS

Hot Water	Gas Instantaneous 4.5 Star		
Cooling System	Living	1 Phase Air Conditioning	4 Star
	Bedrooms	N/A	
Heating System	Living	1 Phase Air Conditioning	4 Star
	Bedrooms	N/A	
Ventilation	16 x Bathroom	Fan not ducted	Manual on/off
	8 x Kitchen	Fan ducted to exterior	Manual on/off
	8 x Laundry	Fan not ducted	Manual on/off
Natural Lighting	Window/Skylight in Kitchen		Yes
	Window/Skylight in Bathrooms/Toilets	Yes to	13
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	21	Dedicated Yes
	Number of Living/Dining rooms	16	Dedicated Yes
	2 Kitchen	YES	Dedicated Yes
	13 Bathrms/Toilets	YES	Dedicated Yes
	8 Laundry	YES	Dedicated Yes
	8 Hallways	YES	Dedicated Yes
Appliances	Ventilated fridge space	Yes	
	CookTop / Oven	Gas CookTop / Electric Oven	

OTHER COMMITMENTS

Indoor clothes line	No	Outdoor clothes line	YES
Zoning	Yes		

THERMAL PERFORMANCE SPECIFICATION AS PER NatHERS (FirstRate 5)

Project: 26 Moorefields Road Kingsgrove		
Total Dwellings: 8		
Certificate Number: ZERBHV1CF		
Assessor Number: BDAV/10/1014		Date: 21/12/2017
Building Elements	Material	Details
External Walls	Brick Veneer	R2.0 Bulk Insulation
Internal tenancy Walls	Double Brick	-
Ceiling	Plasterboard	R3.5
Roof	Metal-Medium Color	Reflective foil sarking under roof sheeting
Floors	Concrete – Ground Floor Timber – First Floor	R2.0 Insulation to elevated and unenclosed areas (ground floor and elevated/ unenclosed first floor only)
Windows	Improved Aluminium frames throughout Double Glazed Air Fill Low Solar Gain Low E clear U value 4.9 or less SHGC 0.33 +/- 10%	Unit 2, Unit 6, Unit 7 and Unit 8 – Living areas and Bedrooms
	Single glazed Low solar Gain Low E – U value 5.6 or less SHGC 0.41 +/- 10%	Unit 1, Unit 3, Unit 4 and Unit 5, Unit 6 – Living areas and Bedrooms
	Single glazed clear glass – U value 6.7 or less SHGC 0.7 +/- 10%	All other areas

THERMAL PERFORMANCE SPECIFICATIONS		
Unit Number	Heating Load (Energy MJ/sqm)	Cooling Load (Energy MJ/sqm)
1	38.1	24.7
2	32.5	25.2
3	27.1	22.7
4	25.2	25.4
5	23.8	25.4
6	34.6	26.0
7	33.6	25.2
8	37.9	22.4

This report to be read in conjunction with:

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- BASIX report
- All commitments listed for thermal comfort in the report/table to be followed and incorporated.
- All insulation to be fixed as per manufacturer's instructions with sufficient clearances for electrical fittings etc.
- Provide R2.0 bulk insulation to internal walls of the garage.
- The ratings do not include downlights.
- Draught seal all external door and windows.
- Provide self seal casing for Exhaust Fans - 'DraftStoppa' or similar.
- Thermal Performance specification table shown on the drawings takes precedence over any other commitments elsewhere.

WINDOW SCHEDULE

UNIT NO	WIN NO	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
U1	W01	1800	900	300	2100
U1	W02	1800	900	300	2100
U1: 2					
U2	W01	1800	1450	300	2100
U2	W02	600	1810	1500	2100
U2	W03	600	1210	1500	2100
U2	W04	1800	900	300	2100
U2	W05	1500	910	600	2100
U2	W06	855	610	1245	2100
U2	W07	1800	1800	300	2100
U2: 7					
U3	W01	1800	1210	300	2100
U3	W02	1800	900	300	2100
U3	W03	855	610	1245	2100
U3	W04	600	2050	1500	2100
U3	W05	1800	850	600	2400
U3	W06	1800	850	600	2400
U3: 6					
U4	W09	900	900	1200	2100
U4	W10	900	1800	1200	2100
U4	W11	1800	1800	300	2100
U4	W12	900	1800	1200	2100
U4: 4					
U5	W02	900	900	1200	2100
U5	W04	900	1800	1200	2100
U5	W05	900	610	1200	2100
U5	W13	1800	1800	300	2100
U5	W14	900	1800	1200	2100
U5	W15	900	610	1200	2100
U5: 6					
U6	W01	1800	1210	300	2100
U6	W06	855	610	1200	2055
U6	W07	900	1800	1200	2100
U6	W08	900	900	1200	2100
U6: 4					
U7	W01	900	600	1200	2100
U7	W02	1750	1450	350	2100
U7	W03	1750	1450	350	2100
U7	W04	750	2100	1750	2500
U7	W05	750	2100	1850	2600
U7: 5					
U8	W01	900	600	1200	2100
U8	W02	1750	1450	350	2100
U8	W03	600	610	1800	2400
U8	W04	750	2100	1750	2500
U8: 4					
Grand total: 38					

5.9
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

N1YTE7DXKR 07/04/2021

Assessor: Nermein Loka
Accreditation No. 101399
Address: 26 Moorefields Street, Kingsgrove, NSW, 2208

https://www.fr5.com.au/QRCodeLanding?PublicId=N1YTE7DXKR&GrpCert=1

ABSA
Australian Building Sustainability Association

HERIS Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period: 01/04/2021-31/03/2022
Assessor Name: NERMEIN LOKA
Assessor Number: 101399

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ISSUE AMMENDMENTS DATE

ISSUE

CLIENT

K



DRAWING NUMBER:
DA400

DRAWING TITLE:
BASIX COMMITMENTS

SCALE
As indicated

PROJECT

26 MOORFIELDS STREET
KINGSGROVE

GROSS FLOOR AREA CALCULATIONS

TOTAL SITE AREA : 1098 SQM
 MAX F.S.R ALLOWED : 0.50:1
 (UNDER CANTERBURY LEP)
 FLOOR AREA ALLOWED (CLEP) : 0.50 X 1098 = 549.0 SQM

PROPOSED GROSS FLOOR AREA : 699.5 SQM
 PROPOSED FLOOR RATIO : 0.637:1

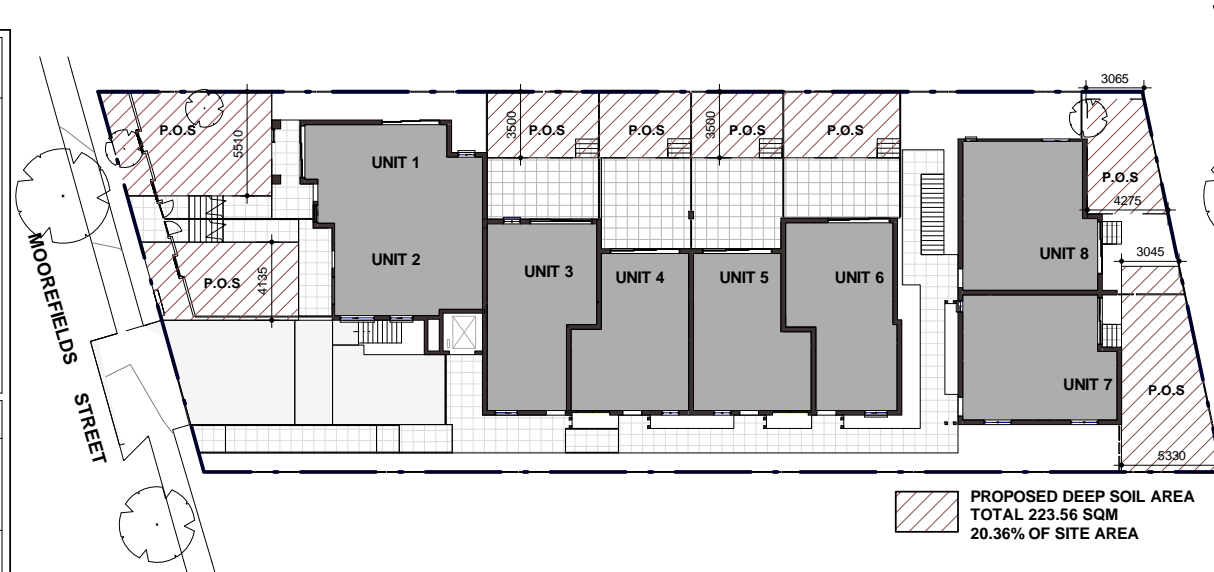
ALLOCATED GROSS FLOOR FOR AFFORDABLE RENTAL HOUSING:
 158.6 SQM (BEING UNIT 7 & 8)
 BONUS F.S.R (Y) = 158.6/708.6 = (AH) %22.38
 Y= AH/100, Y= %22.38 / 100 = 0.22
 MAX F.S.R (UNDER SEPP) = 0.50+0.22= 0.72:1

LANDSCAPING AREA

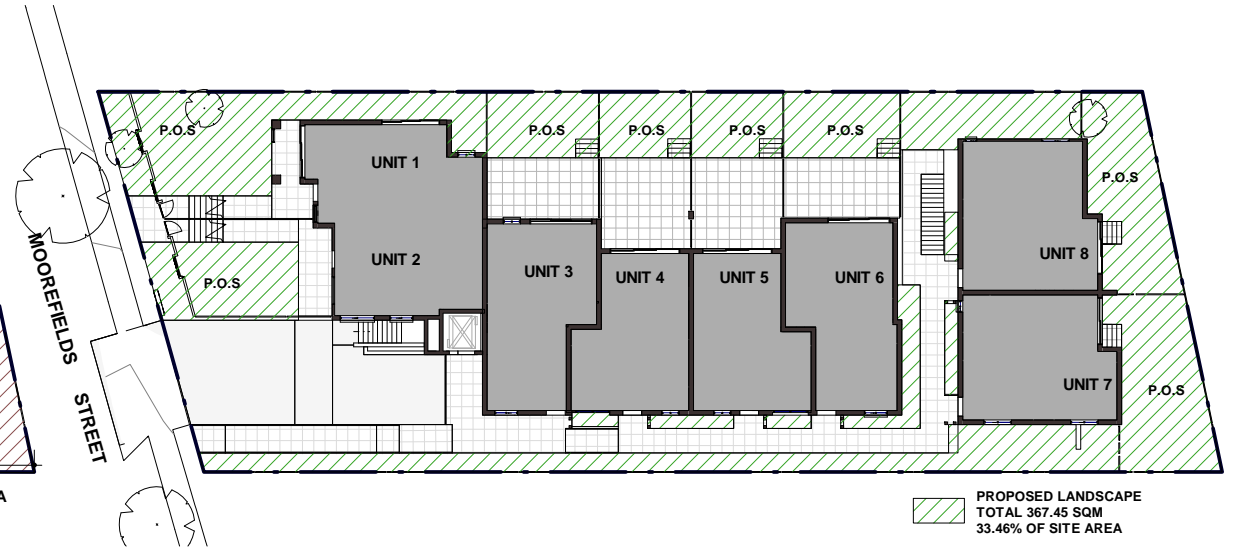
MIN LANDSCAPING RATIO REQUIRED : %30
 MIN LANDSCAPING AREA REQUIRED (30%): 329.40 SQM
 PROPOSED LANDSCAPING AREA : 367.45 SQM
 PROPOSED LANDSCAPING AREA RATIO : %33.46

DEEP SOIL AREA

MIN DEEP SOIL RATIO REQUIRED : %15
 MIN DEEP SOIL AREA REQUIRED : 164.7 SQM
 PROPOSED DEEP SOIL AREA : 223.56 SQM
 PROPOSED DEEP SOIL RATIO : %20.36



PROPOSED DEEP SOIL AREA
 TOTAL 223.56 SQM
 20.36% OF SITE AREA



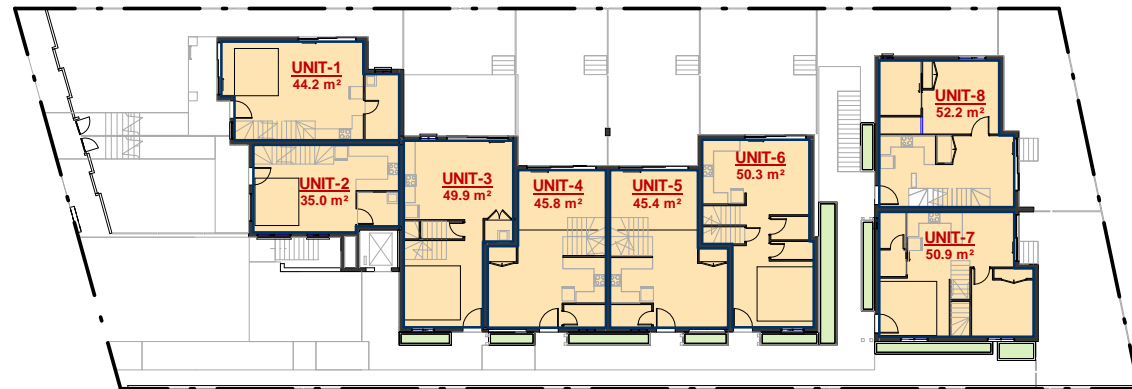
PROPOSED LANDSCAPE
 TOTAL 367.45 SQM
 33.46% OF SITE AREA

1 DEEP SOIL AREA CALCULATION
 DA401 1 : 400

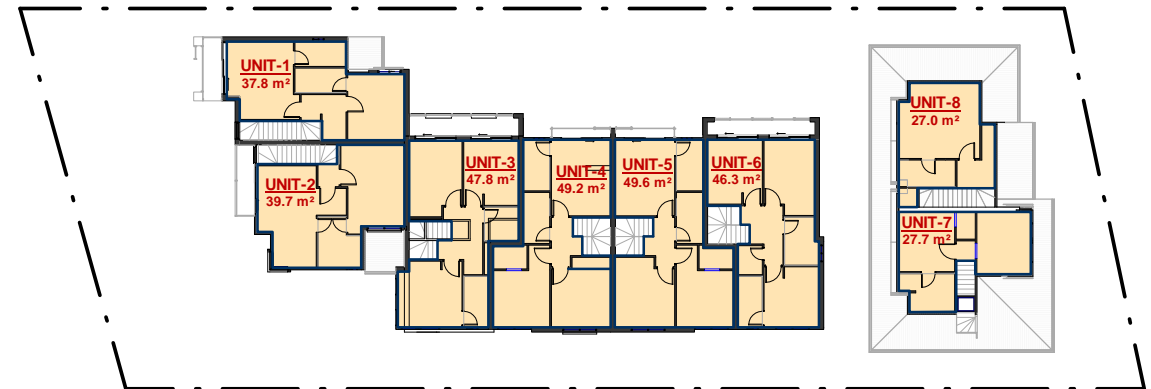
2 LANDSCAPE AREA CALCULATION
 DA401 1 : 400

UNITS GROSS FLOOR CALCULATIONS

UNIT NO.	LEVEL	NO. BED	AREA
UNIT-1	FIRST FLOOR	2	37.8 m ²
	GROUND FLOOR		44.2 m ²
			82.0 m ²
UNIT-2	FIRST FLOOR	2	39.7 m ²
	GROUND FLOOR		35.0 m ²
			74.7 m ²
UNIT-3	FIRST FLOOR	3	47.8 m ²
	GROUND FLOOR		49.9 m ²
			97.7 m ²
UNIT-4	FIRST FLOOR	3	49.2 m ²
	GROUND FLOOR		45.8 m ²
			95.0 m ²
UNIT-5	FIRST FLOOR	3	49.6 m ²
	GROUND FLOOR		45.4 m ²
			95.1 m ²
UNIT-6	FIRST FLOOR	3	46.3 m ²
	GROUND FLOOR		50.3 m ²
			96.6 m ²
UNIT-7	FIRST FLOOR	2	27.7 m ²
	GROUND FLOOR		50.9 m ²
			78.6 m ²
UNIT-8	FIRST FLOOR	2	27.0 m ²
	GROUND FLOOR		52.2 m ²
			79.2 m ²
Grand total: 16			698.9 m ²



3 GROUND FLOOR GROSS UNIT
 DA401 1 : 400



4 FIRST FLOOR GROSS UNIT
 DA401 1 : 400

5.9 Average star rating
 NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.nathers.gov.au

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 Assessor Signature: _____

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D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMMENDMENTS	1/11/2017

ISSUE CLIENT

K

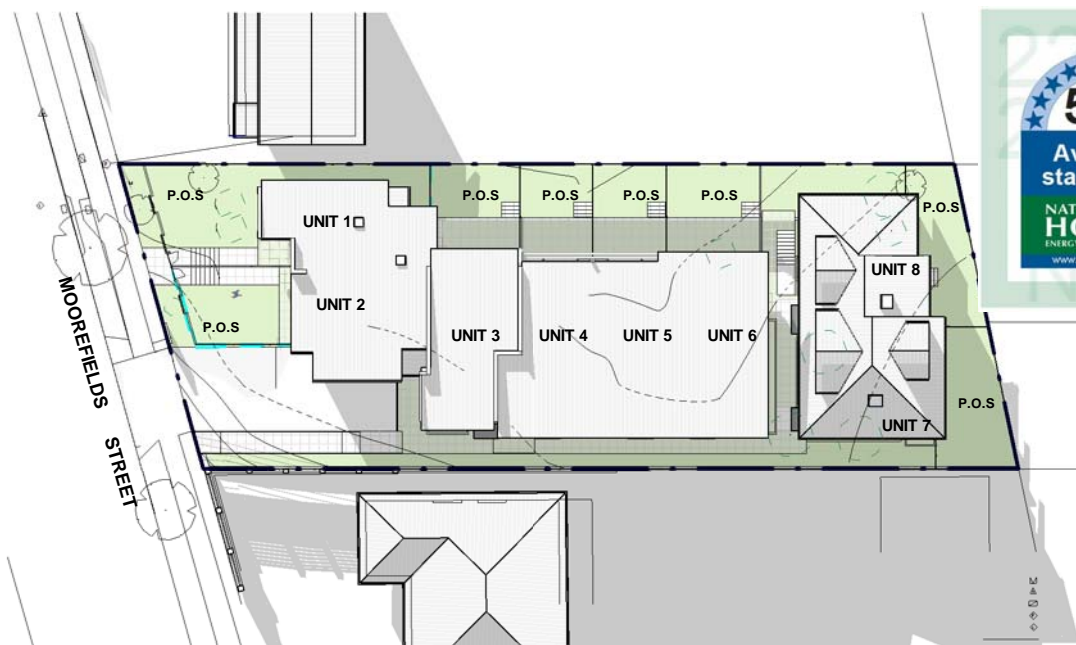


DRAWING NUMBER:
DA401

DRAWING TITLE:
GROSS FLOOR AREA, DEEP
SOIL & LANDSCAPING AREA
CALCULATION

PROJECT

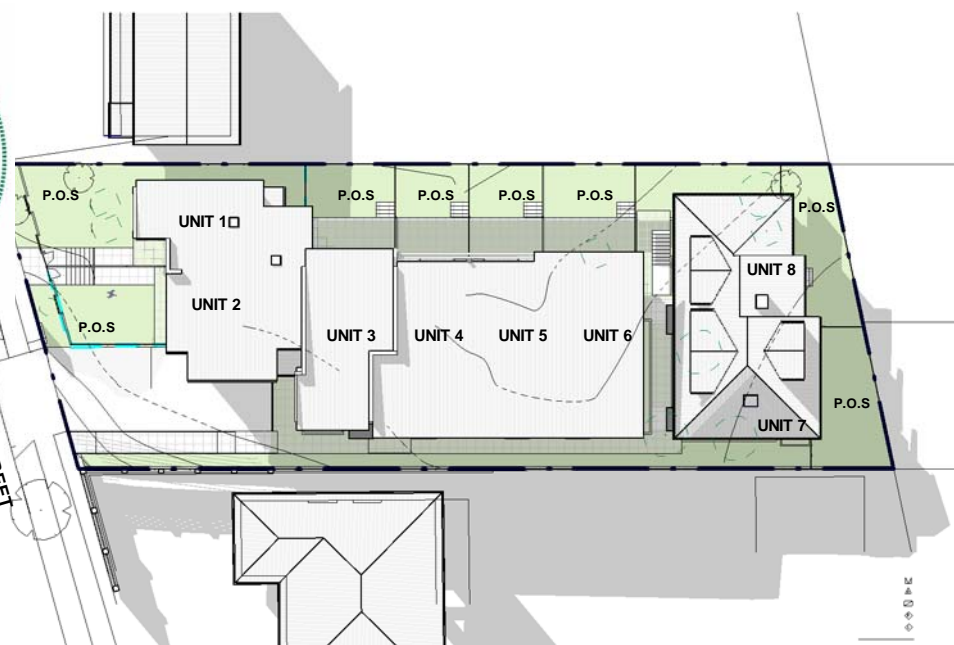
26 MOORFIELDS STREET
KINGSGROVE



5.9
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

N1YTE7DXKR 07/04/2021
Assessor: Nermein Loka
Accreditation No. 101399
Address: 26 Moorefields Street, Kingsgrove, NSW, 2208
https://www.fr5.com.au/QRCodeLanding?PublicId=N1YTE7DXKR&GrpCert1

ABSA
Australian Building Sustainability Association
HERS Assessments completed within the accreditation period are part of the ABSA quality audit system
Accreditation Period: 01/04/2021-31/03/2022
Assessor Name: NERMEIN LOKA
Assessor Number: 101399
Assessor Signature: [Signature]

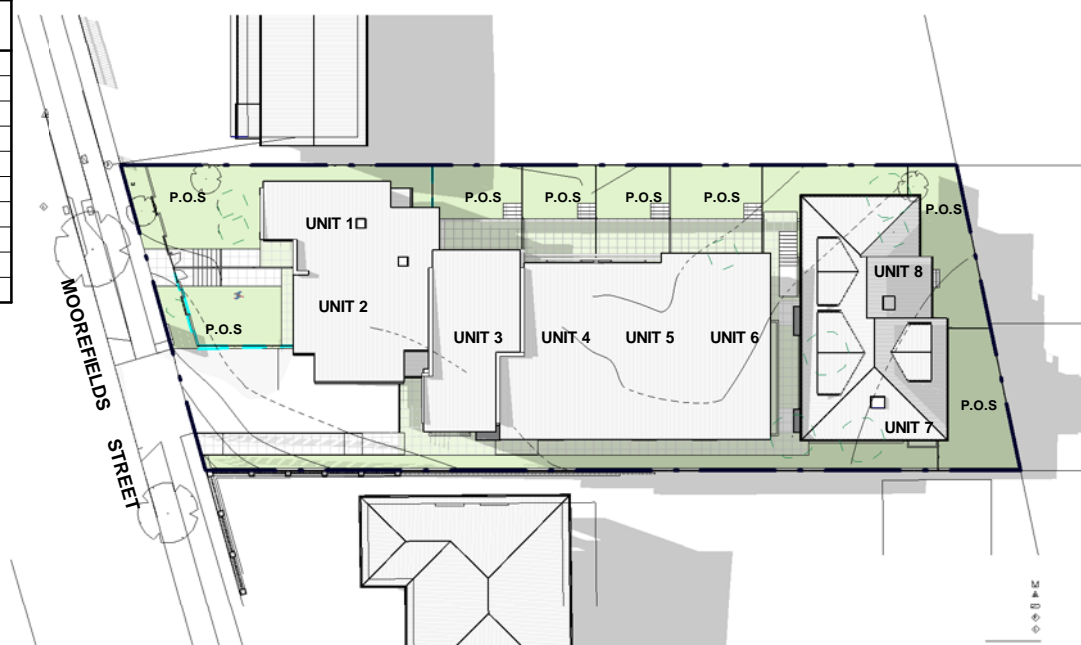
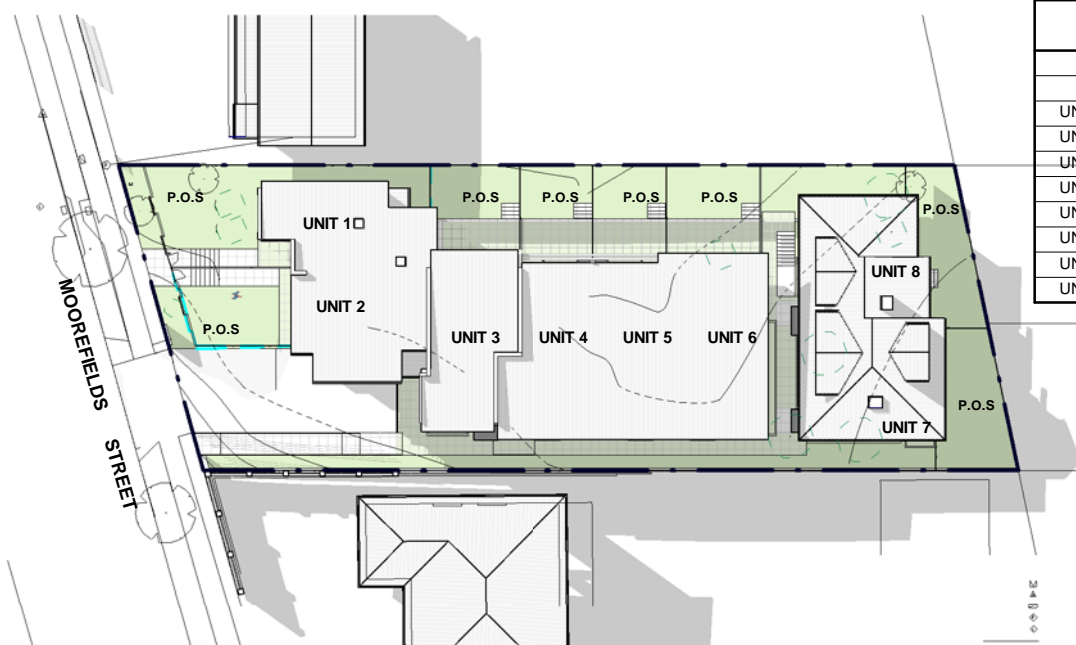


1 SHADOW DIAGRAM AT 09AM - 21 JUNE
1 : 500

2 SHADOW DIAGRAM AT 10AM - 21 JUNE
DA500 1 : 500

SOLAR ACCESS TABLE								
LIVING ROOM								
	9AM	10AM	11AM	12AM	1PM	2PM	3PM	HOURS
UNIT-1	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-2	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-3	✓	✓	✓	x	x	x	x	3 HOURS
UNIT-4	✓	✓	✓	x	x	x	x	3 HOURS
UNIT-5	✓	✓	✓	x	x	x	x	3 HOURS
UNIT-6	✓	✓	✓	✓	x	x	x	4 HOURS
UNIT-7	x	x	x	x	x	x	x	0 HOURS
UNIT-8	x	x	x	x	x	x	x	0 HOURS

SOLAR ACCESS TABLE								
PRIVATE OPEN SPACE								
	9AM	10AM	11AM	12AM	1PM	2PM	3PM	HOURS
UNIT-1	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-2	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-3	✓	✓	✓	✓	✓	x	x	4 HOURS
UNIT-4	✓	✓	✓	✓	✓	x	x	4 HOURS
UNIT-5	✓	✓	✓	✓	✓	x	x	4 HOURS
UNIT-6	✓	✓	✓	✓	✓	✓	x	5 HOURS
UNIT-7	x	x	x	x	✓	✓	✓	3 HOURS
UNIT-8	✓	✓	✓	✓	✓	✓	x	5 HOURS



3 SHADOW DIAGRAM AT 11AM - 21 JUNE
DA500 1 : 500

4 SHADOW DIAGRAM AT 12PM - 21 JUNE
DA500 1 : 500

MORFOSIS ARCHITECTS
PTY LTD
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ABN 44 609 593 473
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GENERAL NOTES

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ISSUE	AMENDMENTS	DATE
K	AMMENDMENTS	04/11/2021
J	AMMENDMENTS	24/08/2021
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E	DA LODGEMENT	19/12/2017
D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMMENDMENTS	1/11/2017

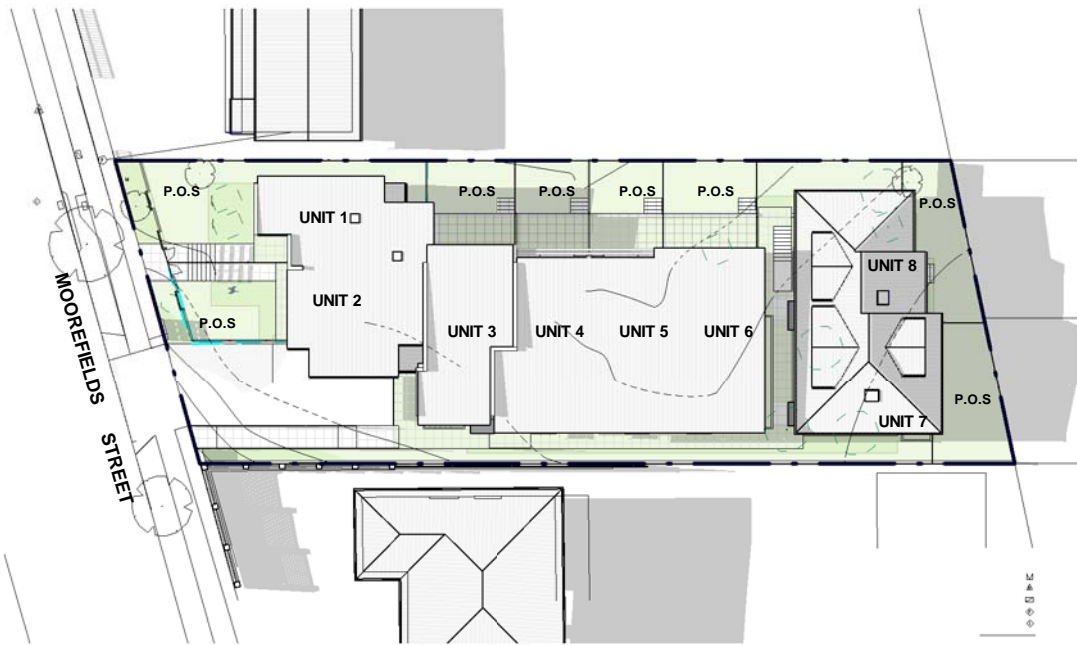
ISSUE CLIENT

K

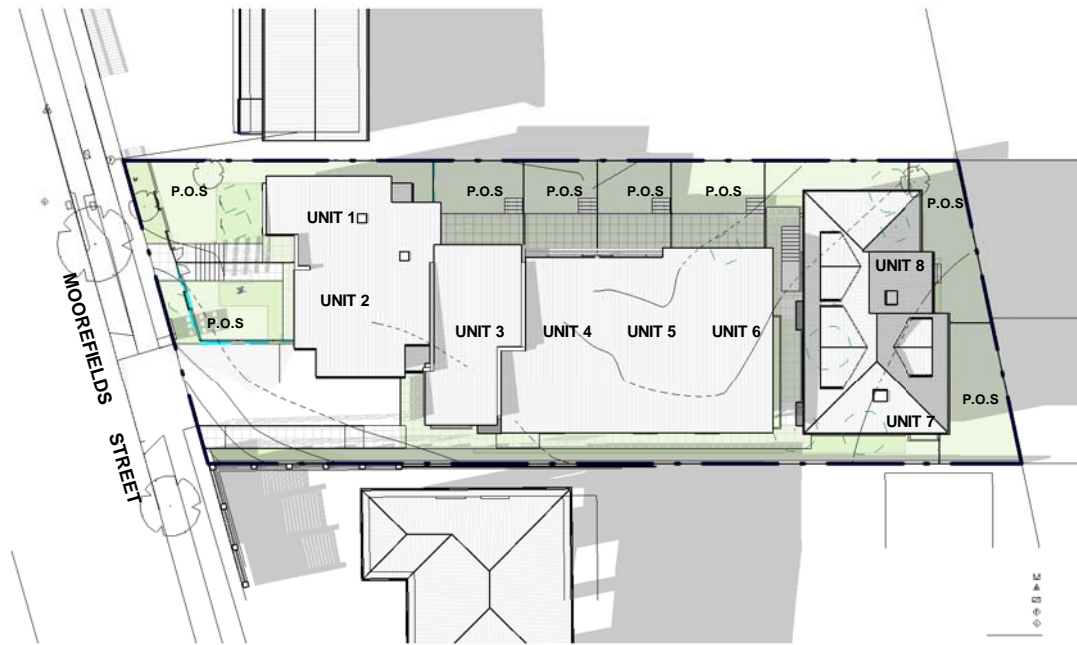


DRAWING NUMBER:
DA500
DRAWING TITLE:
SHADOW DIAGRAMS - 01
SCALE
As indicated

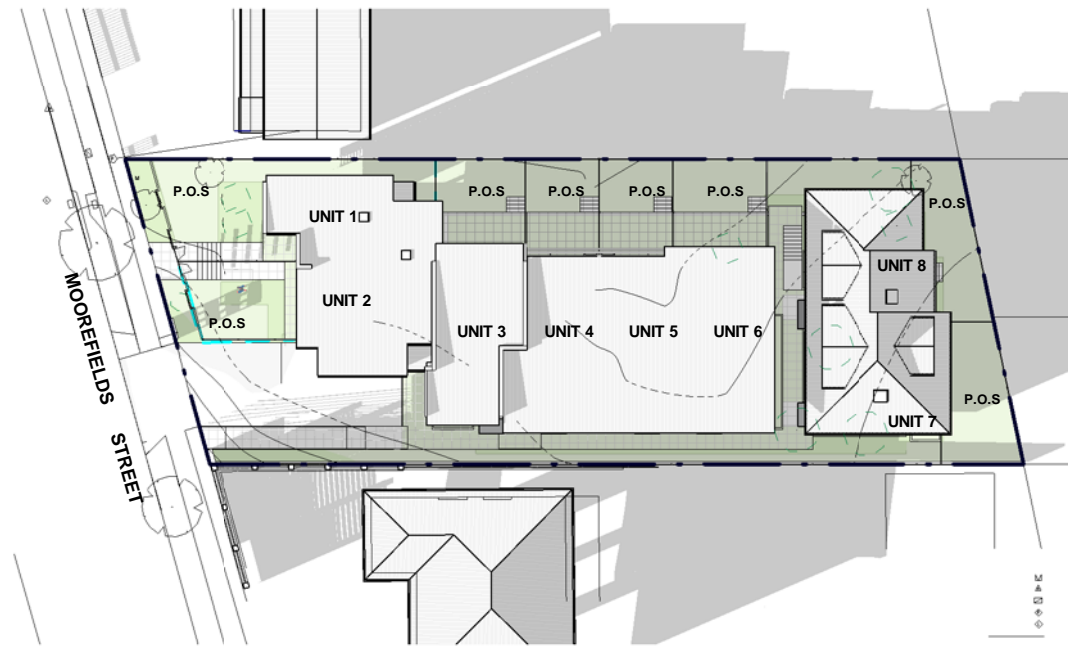
PROJECT
26 MOORFIELDS STREET
KINGSGROVE



1 SHADOW DIAGRAM AT 01PM - 21 JUNE
DA501 1 : 500



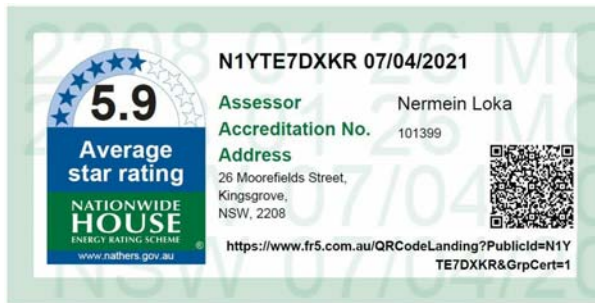
2 SHADOW DIAGRAM AT 02PM - 21 JUNE
DA501 1 : 500



3 SHADOW DIAGRAM AT 03PM - 21 JUNE
DA501 1 : 500

SOLAR ACCESS TABLE								
LIVING ROOM								
	9AM	10AM	11AM	12AM	1PM	2PM	3PM	HOURS
UNIT-1	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-2	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-3	✓	✓	✓	x	x	x	x	3 HOURS
UNIT-4	✓	✓	✓	x	x	x	x	3 HOURS
UNIT-5	✓	✓	✓	x	x	x	x	3 HOURS
UNIT-6	✓	✓	✓	✓	x	x	x	4 HOURS
UNIT-7	x	x	x	x	x	x	x	0 HOURS
UNIT-8	x	x	x	x	x	x	x	0 HOURS

SOLAR ACCESS TABLE								
PRIVATE OPEN SPACE								
	9AM	10AM	11AM	12AM	1PM	2PM	3PM	HOURS
UNIT-1	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-2	✓	✓	✓	✓	✓	✓	✓	6 HOURS
UNIT-3	✓	✓	✓	✓	✓	x	x	4 HOURS
UNIT-4	✓	✓	✓	✓	✓	x	x	4 HOURS
UNIT-5	✓	✓	✓	✓	✓	x	x	4 HOURS
UNIT-6	✓	✓	✓	✓	✓	✓	x	5 HOURS
UNIT-7	x	x	x	x	✓	✓	✓	3 HOURS
UNIT-8	✓	✓	✓	✓	✓	✓	x	5 HOURS



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PTY LTD
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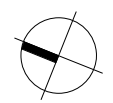
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F	AMENDMENTS	26/08/2020
E	DA LODGEMENT	19/12/2017
D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMENDMENTS	1/11/2017

ISSUE CLIENT
K






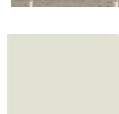

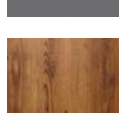
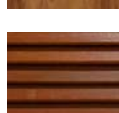




DRAWING NUMBER:
DA501
DRAWING TITLE:
SHADOW DIAGRAMS - 02
SCALE
As indicated

PROJECT
26 MOORFIELDS STREET
KINGSGROVE



COLOUR AND MATERIAL SCHEDULE

-  ① COLORBOND ROOF, GUTTER & DOWNPIPE WINDSPRAY OR SIMILAR
-  ② ALUMINUM WINDOWS AND DOORS SURFMIST OR SIMILAR
-  ③ FASCIA SHALE GREY OR SIMILAR
-  ④ MAIN CONCRETE BLOCK PEARL OR SIMILAR
-  ⑤ FACE BRICK NUVO MIST OR SIMILAR
-  ⑥ PAINT FINISH RENDERED WALL SHALE GREY OR SIMILAR
-  ⑦ FRONT POTICO PAINT FINISH RENDERED WALL BASALT OR SIMILAR
-  ⑧ SOLID TIMBER ENTRY DOOR DARK OAK OR SIMILAR
-  ⑨ TIMBER LOUVER SCREEN
-  ⑩ ALUMINIUM LOUVER SCREEN COLORBOND DUNE OR SIMILAR
-  ⑪ PAINT FINISH RENDERED WALL HEADLAND OR SIMILAR

MORFOSIS ARCHITECTS

PTY LTD

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F	AMMENDMENTS	26/08/2020
E	DA LODGEMENT	19/12/2017
D	FACADES	17/11/2017
C	FACADES	15/11/2017
B	AMMENDMENTS	1/11/2017

ISSUE

CLIENT

K

DRAWING NUMBER:
DA600

DRAWING TITLE:
COLOUR SCHEDULE

SCALE
1 : 100

PROJECT

26 MOORFIELDS STREET
KINGSGROVE